

# **R1-7 Zoning District**

This shows the City Council approved amendments.

**Effective Date: November 4, 2010**

---

**6-TA-2007, 7-TA-2007, and 8-TA-2007  
Ordinance #3853**

**Planning Neighborhood and Transportation Division**



# Yards, Setbacks

## Previous

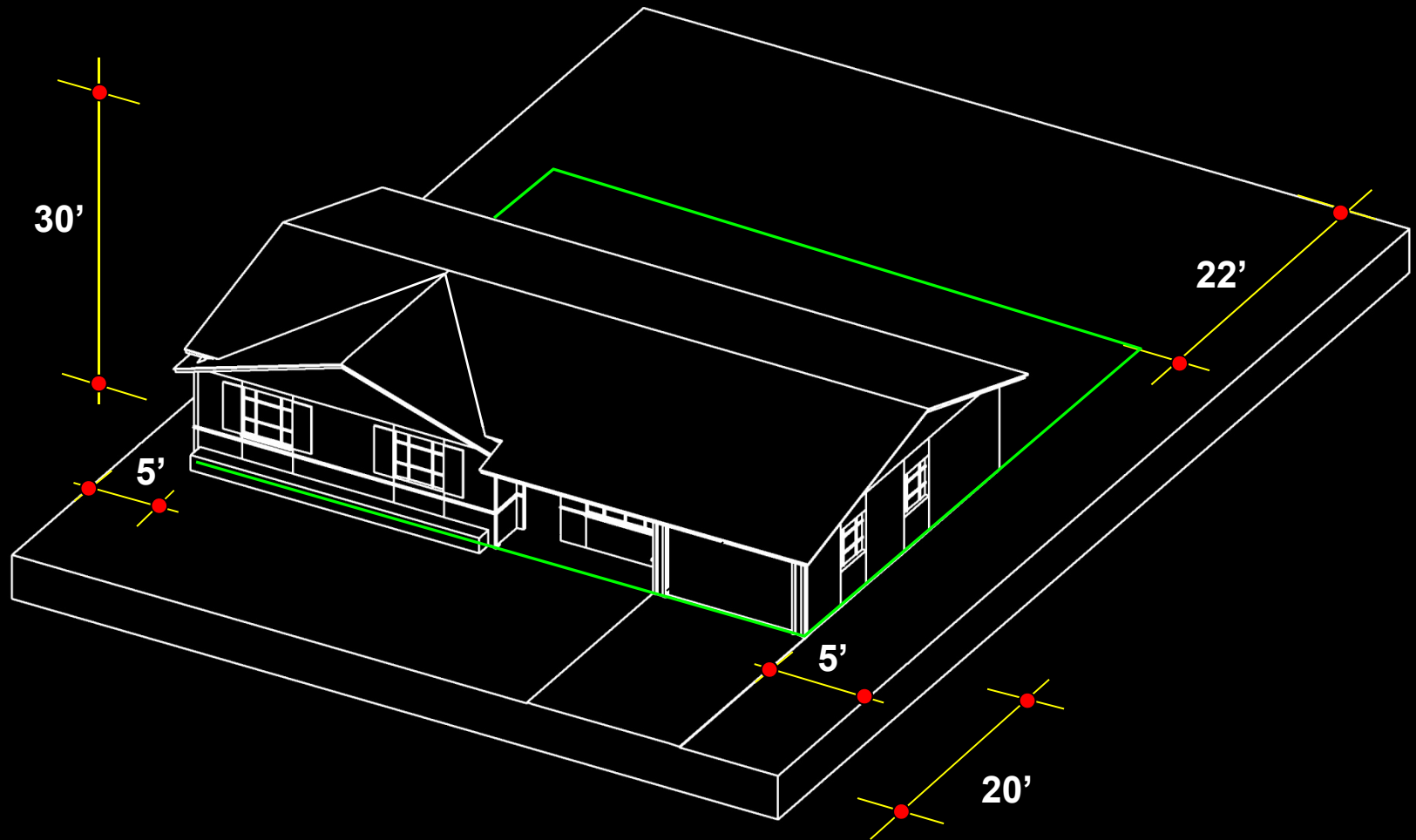
1. Distance between main buildings on adjacent lots = 14'
2. Side yards = 5' minimum, 14' aggregate

## Approved

- A. Delete requirement (side yards required)
- B. Side yards = 5' each side, no aggregate

# R1-7 Standard mid-block parcel

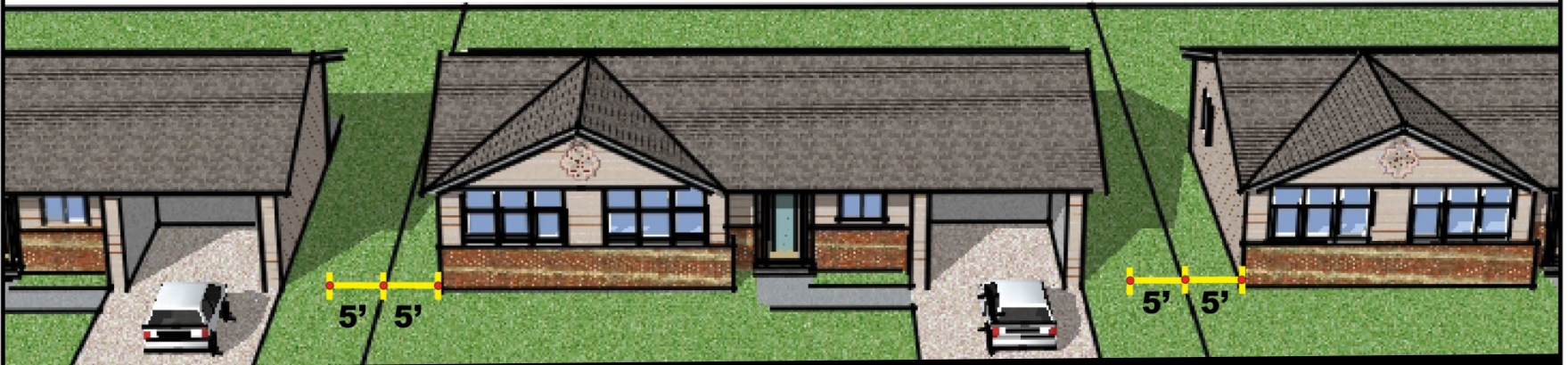
## Development Standards – Front View



Side yard: Minimum = 5', open carport allowed on one side with criteria  
Rear Yard: With alley = 22' or 12' and cover maximum 30% rear yard, alternatively  
Without alley = 25' or 15' and cover maximum 30% rear yard  
Driveway area: lesser of 35% of front yard or 30 linear ft of lot frontage

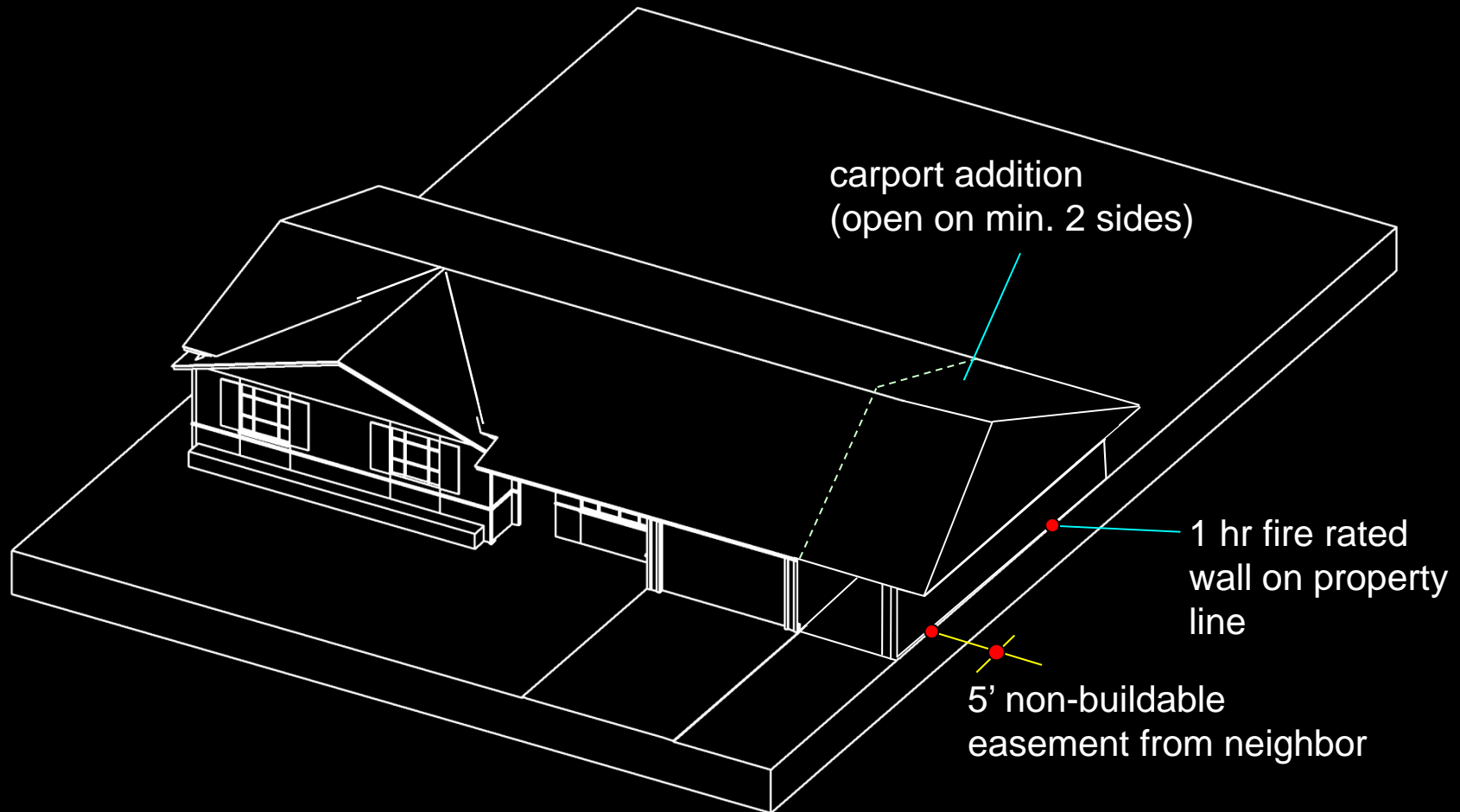
# R1-7 Standard Mid-block Parcel

Approved Development Standard  
5-Foot Side Yard Setbacks



# R1-7 Standard mid-block parcel

## Development Standard - Carport Addition in Side Yard



Carport is required to be attached and integrated to the main building.

Carport shall not abut a carport, garage/similar structure on the adjacent residential lot.

Carport roof cannot drain into the neighbor's property and requires a 30" parapet or 1 hr. fire rated assembly

# Yards, Setbacks – Patio/Front Stoop and Fire Place

## Previous

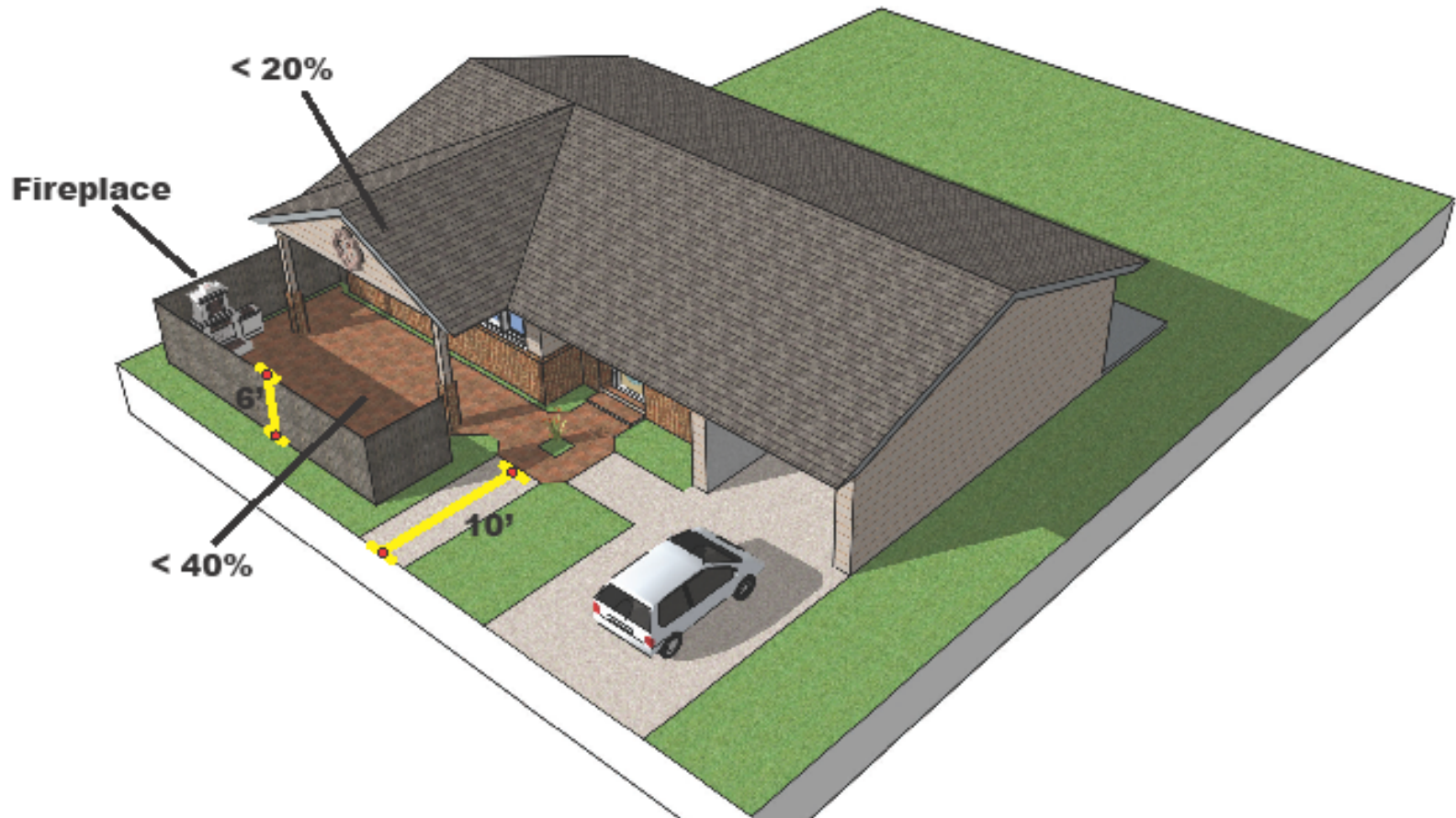
## Approved

- |  |   |
|--|---|
| 1. Structurally integrate patio cover      | A. Structurally integrate   |
| 2. Setback 10-feet from front              | B. Setback 10-feet from front   |
| 3. Encompass max. 20% of front yard        | C. Encompass max. <b>22%</b> of front yard, <b>include front stoop with front patio</b> |
| 4. Patio cover (roof) min. 50% open to sky | D. <b>100% of patio cover (roof) may be solid cover not open to sky</b>                 |
|  | E. <b>Allow gas/electric fire place w/6-foot wall enclosure</b>                         |



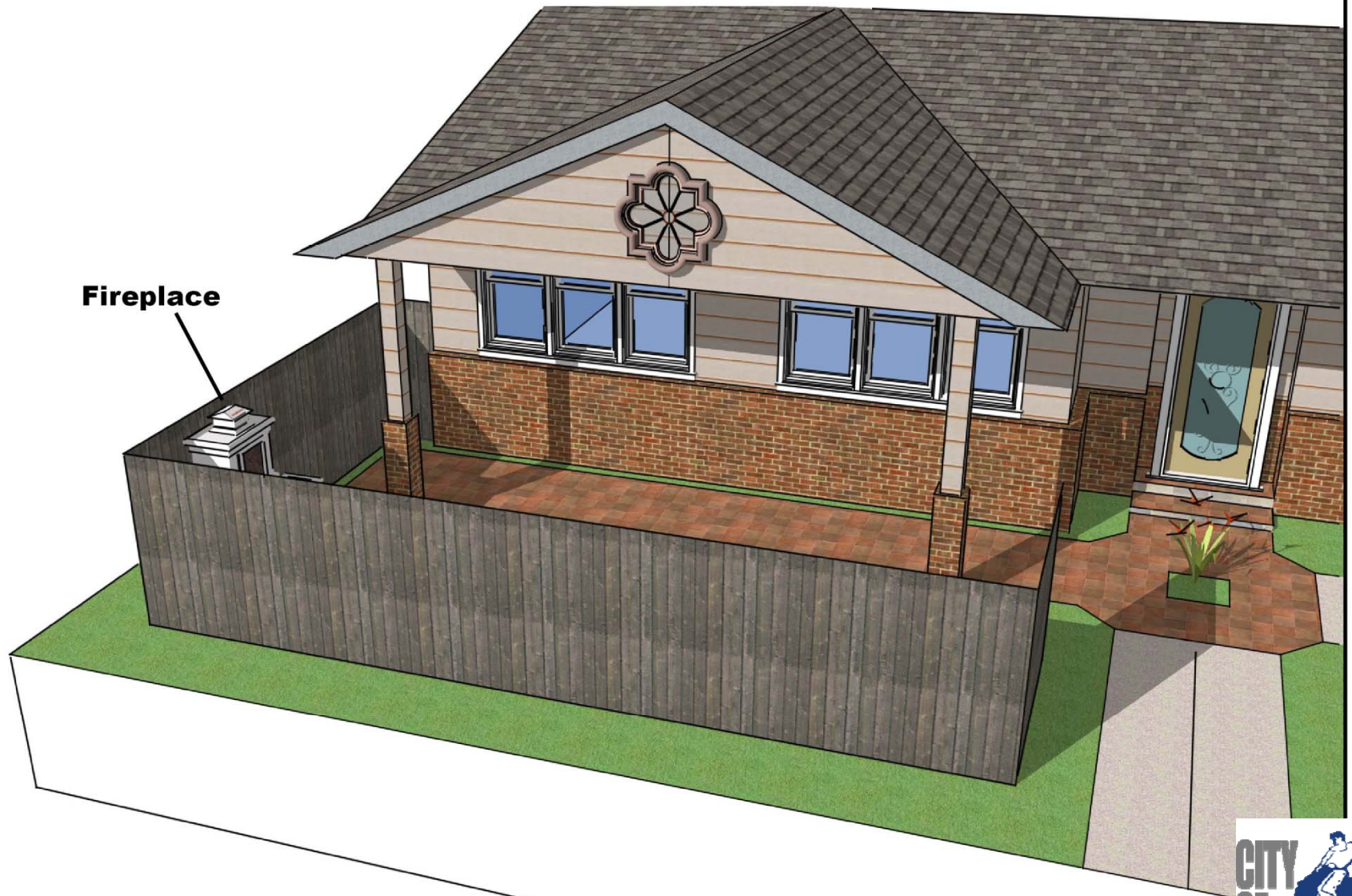
# R1-7 Standard mid-block parcel

## Concept Development Standard - Front Patio



Patio and front stoop combined area max. 22% of front yard  
Integrate roof and may be up to 100% roof cover or may be open to sky  
Gas or electric fireplace integrated with wall may be in front yard

## R1-7 Development Standards





# Accessory Buildings

## Previous

## Approved

- |   |   |
|---|---|
| 1. Regulations located in separate ordinance sections   | A. <b>Move regulations to R1-7 section</b>  |
| 2. Garage side-load at alley with 7-foot setback plus 1-foot per 1-foot of height above 12-feet                           | B. Garage side-load at alley with <b>zero-foot</b> setback plus 1-foot per 1-foot of height above 12-feet                 |
| 3. Accessory buildings behind house with 2-foot setback plus 1-foot additional setback per 1-foot of height above 10-feet | C. Accessory buildings behind house with 2-foot setback plus 1-foot additional setback per 1-foot of height above 10-feet |
| 4. 10-foot separation between accessory and main building   | D. <b>5-foot</b> separation between accessory and main building   |

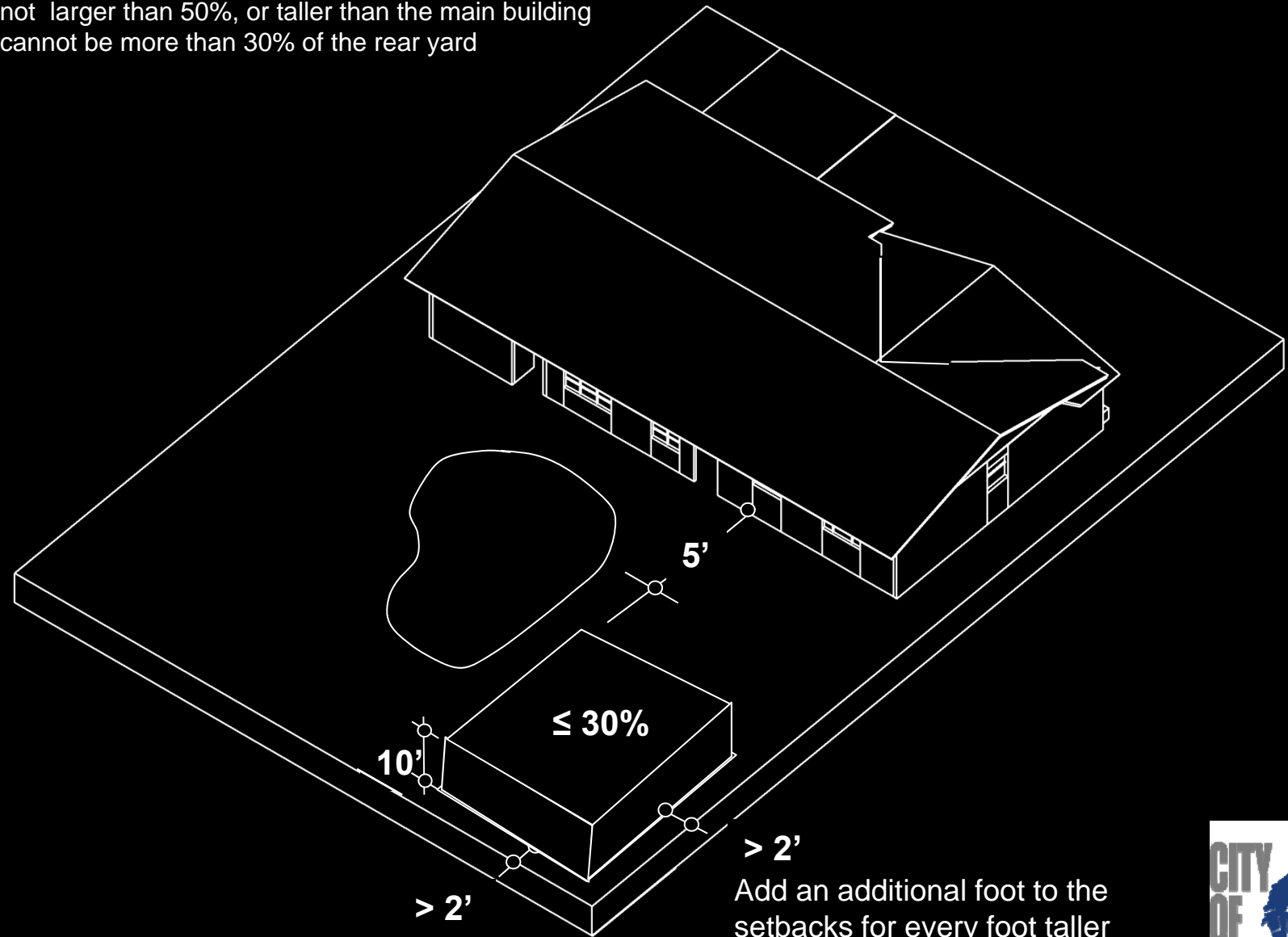


# R1-7 Standard mid-block parcel

## Development Standards for Accessory buildings

Structure not larger than 50%, or taller than the main building

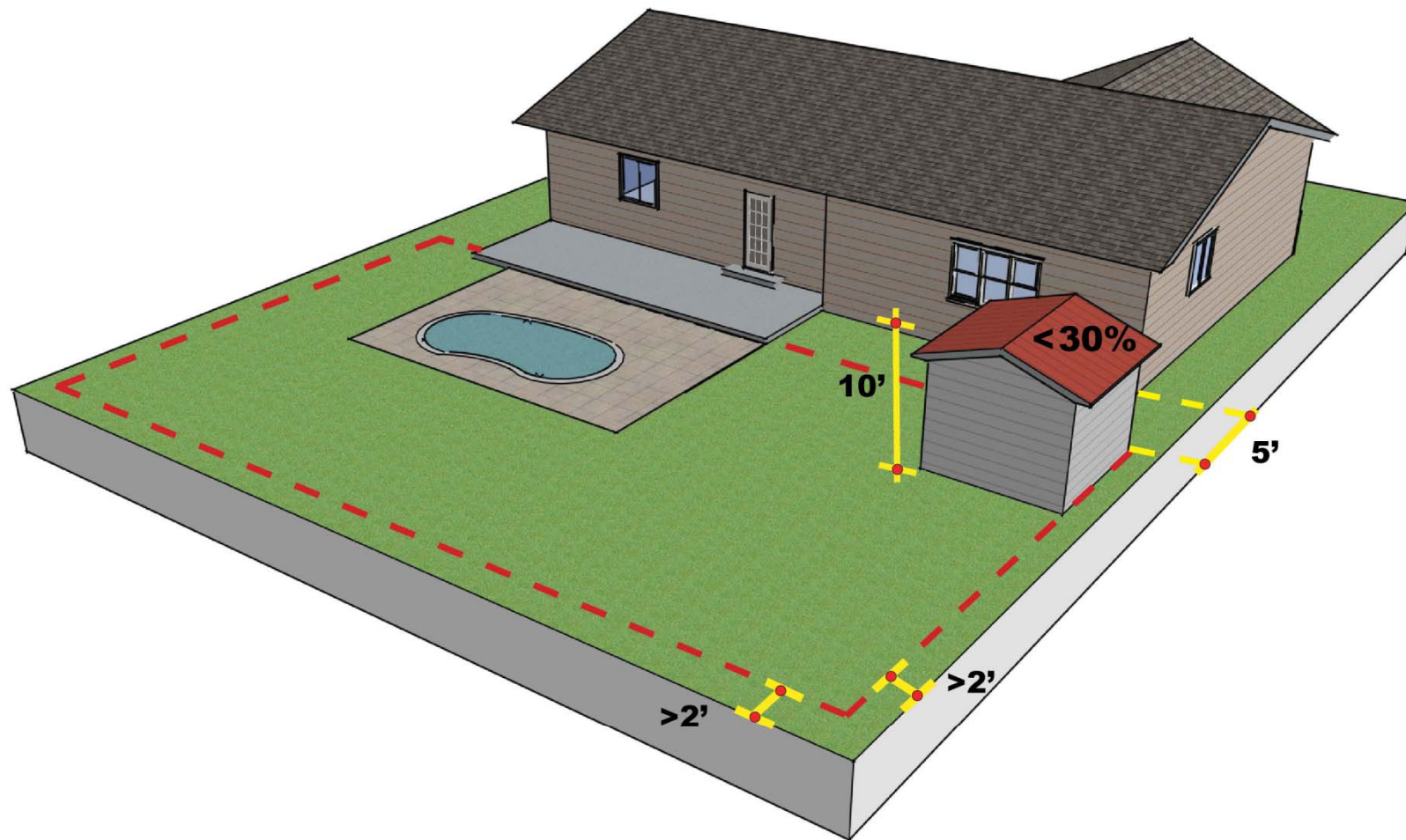
Structure cannot be more than 30% of the rear yard



**> 2'**

Add an additional foot to the setbacks for every foot taller than 10 feet

## R1-7 Standard Mid-block Parcel Standards for Accessory Buildings



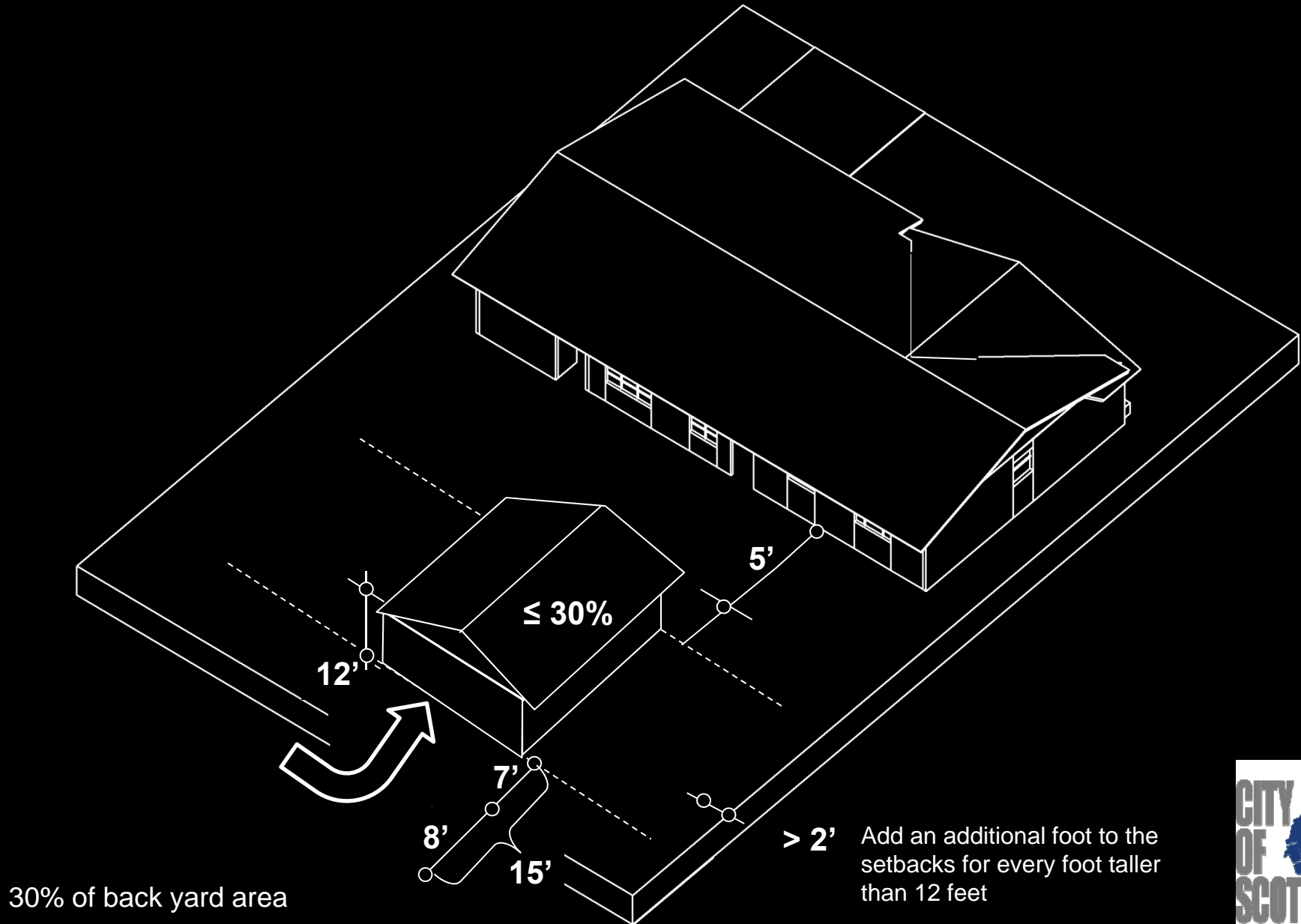
**Size:** Structure cannot be larger than 50%, or taller than the main building

**Side & Rear Yard:** Add an additional foot to the setbacks for every foot taller than 10-feet

**Separation:** Distance from main building 5' feet

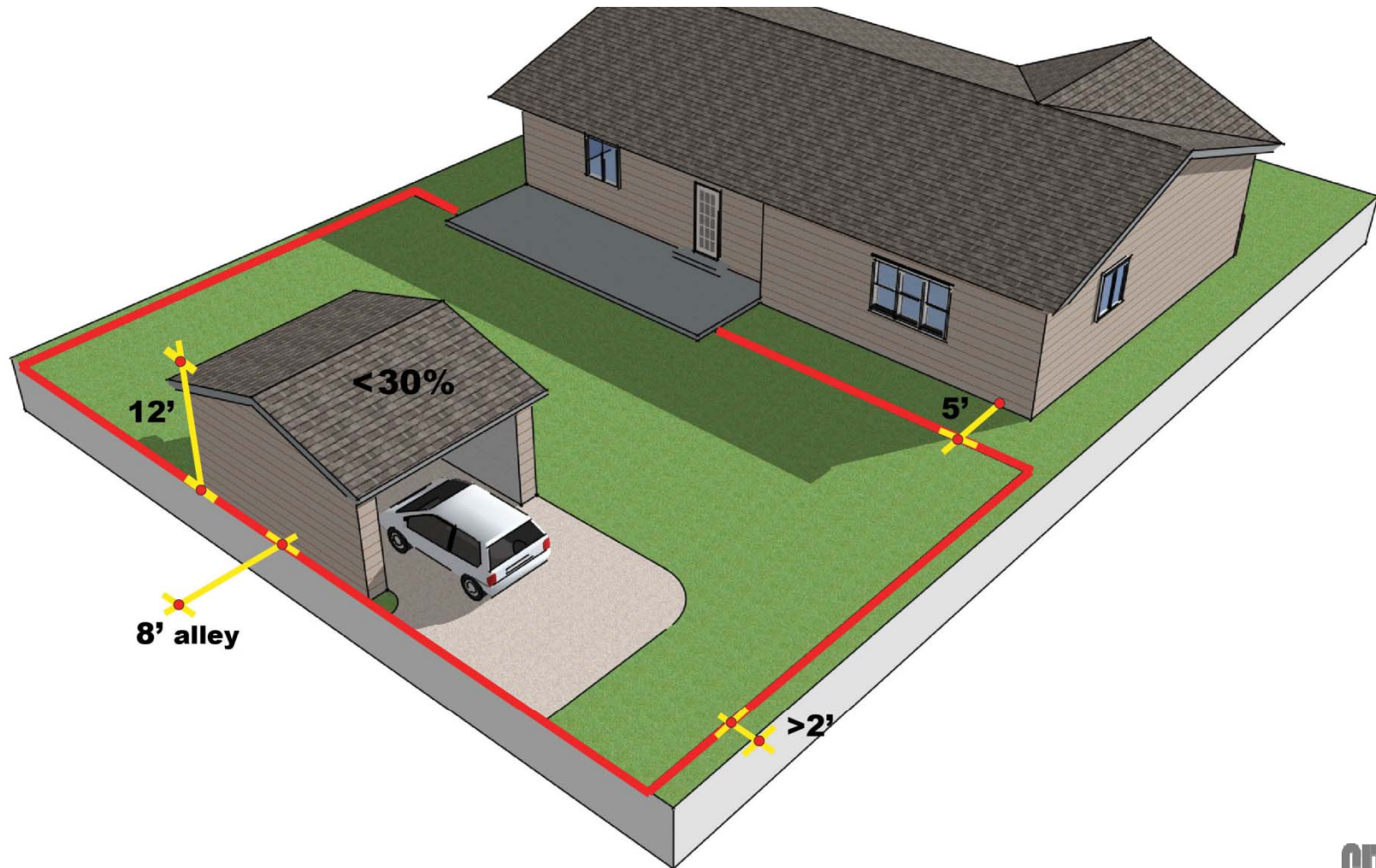
# R1-7 Standard mid-block parcel

## Standards for Front Entry Detached Garage at Alley



# R1-7 Standard Mid-block Parcel

## Standards for Alley Access Side Entrance Garages



**Size:** Structure cannot be larger than 50%, or taller than the main building

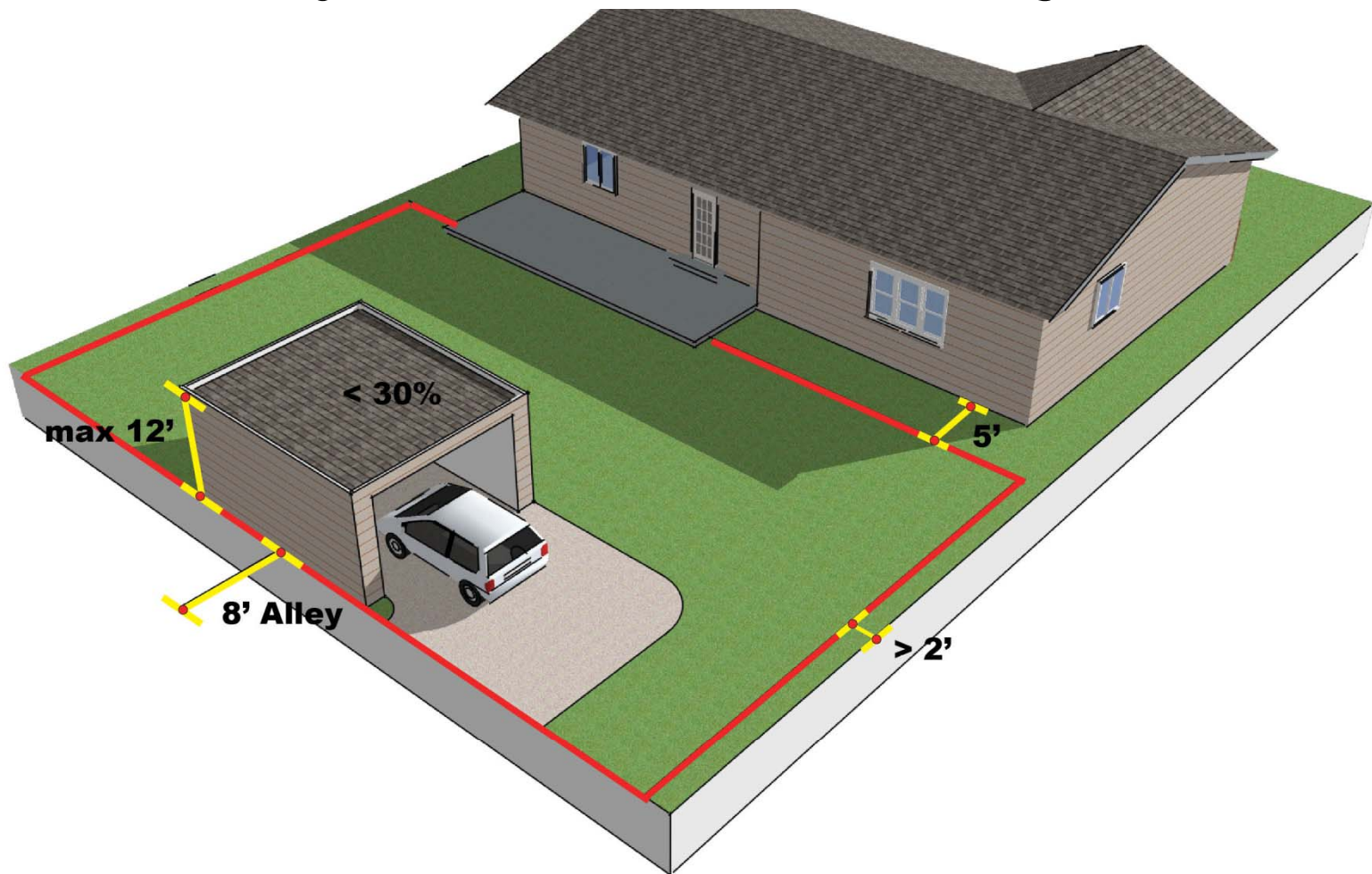
**Side & Rear Yard:** Add an additional foot to the setbacks for every foot taller than 12 feet

**Rear Yard:** 0' setback along rear property line with side-entry garage



# R1-7 Standard Mid-block Parcel

## Standards for Alley Access Side Entrance Garages



**Size:** Structure cannot be larger than 50%, or taller than the main building

**Side & Rear Yard:** Add an additional foot to the setbacks for every foot taller than 12 feet

**Rear Yard:** 0' setback along rear property line with side-entry garage

# Amendment Details

- Reduce setbacks / yards
  - Allow 5-foot side yard both sides, deleted 14-foot side yards aggregate and deleted 14-foot between buildings on adjacent lots
  - May incorporate front stoop with patio total 22% of front yard area, revised from 20% patio
  - Allow 100% cover for patio & allow fire place, revised from 50% cover & no fire place
- Garage
  - Allow a side-load garage with a 0-foot setback to alley
  - Revised from 15-foot setback from centerline of alley
- Garage and Accessory Building
  - Allow 5-feet separation to main building
  - Revised from 10-foot separation to main building

